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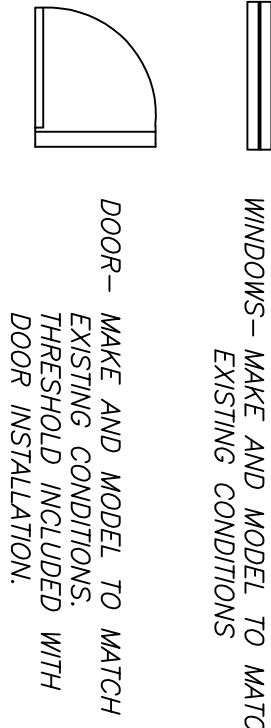
9 Juniper Street
Worcester, MA 01604
Tel: (781) 439-2424
Fax: (781) 595-2270

Guidance Project Design

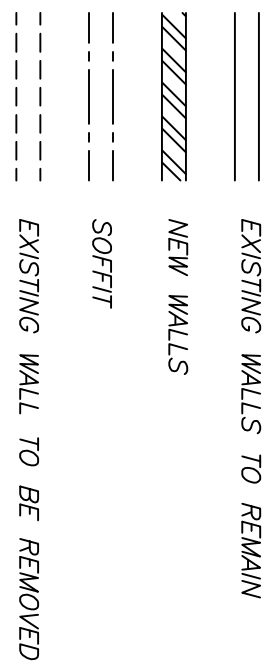
PROJECT NAME:
CANDACE & HARRY
AVERY DEVELOPMENT
DUPLEX

PROJECT ADDRESS:
15-17 WABAN AVE.
WORCESTER, MA,
01604

- NOTES
1. THESE DRAWINGS ARE FOR CONCEPTUAL SPACE PLANNING. THE FINAL LOCATIONS, ROOM SIZES, AND CONSTRUCTION MATERIAL MAY CHANGE DO TO SITE CONSTRAINTS, OWNERS' DIRECTION, OR BUILDING DEPARTMENTS' DIRECTION. THESE DRAWINGS ARE TO BRIDGE THE GAP BETWEEN CONCEPTUAL DESIGN AND THE GENERAL CONTRACTORS' DESIGN.
 2. THE GENERAL CONTRACT AND SUB-CONTRACTORS MUST ADHERE TO THE MASS STATE BUILDING CODE, NATIONAL ELECTRIC CODE, NFPA CODES, AND THE STATE FLOODING CODE. HOME OWNERS MUST UNDERSTAND THAT THE CONTRACTORS ARE BOUND BY THESE CODES AND REGULATIONS AND HAVE NO CODE RESTRICTIONS AND THE WHOLE BUILDING DEPARTMENT.



LEGEND



WINDOW SCHEDULE

EQUIP. TAG	WINDOW SIZE	MANUFACTURE	CATALOG #	REMARKS
①	36"x60"	A-1 WHOLESALE WINDOW CO	G.C. TO PROVIDE	-
②	36"x36"	A-1 WHOLESALE WINDOW CO	G.C. TO PROVIDE	PROVIDE WITH TEMPER GLASS
③	36"x16"	A-1 WHOLESALE WINDOW CO	G.C. TO PROVIDE	G.C. TO APPROVE SIZE OR CHANGE DIMENSIONS PRIOR TO FOUNDATION POUR

15-17 WABAN AVE.

WORCESTER, MA.
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SPECIFICATIONS

Division 1: General Requirements

It is the intent of these documents, and it is the obligation of the General Contractor and all subcontractors to meet all requirements of the Massachusetts State Building Code 780 CMR, eighth edition and all other applicable codes, standards, and regulations whether specifically stated in these documents or not. Any conflicts found between said regulations and these documents are to be immediately brought to the Architect's attention and allowed ample time to remedy said conflicts.

The General Contractor is wholly responsible for the coordination of all dimensions herein specified with the actual field dimensions. Those dimensions indicated are to the face of stud, unless otherwise noted. Any discrepancies, undercross or abnormal situations which may arise during construction are to be brought to the Architect's immediate attention prior to proceeding with the work.

All contractors, subcontractors, suppliers, and fabricators shall be responsible for meeting the intent of these drawings and specifications and for the supply and design of appropriate materials and timely work performance. All warranties and guarantees are to be passed onto the owner at the completion of the project.

All manufactured articles, materials, and equipment shall be applied, installed, erected, used, cleaned, and conditioned in strict accordance with manufacturer's recommendations.

Protect Coordination:

1. Subcontractors are to review and provide information to the General Contractor in a timely manner.

2. General Contractor is to coordinate with the framing contractor all blocking requirements in a timely manner and prior to installation of R-19 sheathing.
3. The framing contractor is to provide all blocking within the walls for secure installation of millwork, casings, moldings, cabinetry, shelving, toilet accessories, etc. as required.
4. General Contractor is to coordinate layouts with the mechanical, electrical, and plumbing contractors prior to installation to avoid any conflicts.
5. General Contractor is to protect all installed surfaces from construction damage.

The Owner will provide the building permit. Each individual subcontractor is to provide any additional permits as required by the building inspector.

Detail Loads:

1. Floors:
 - a. Floor joists: 40 psf
 - b. bedroom live load: 30 psf
 - c. decks and balconies: 60 psf
 - d. dead load: 10 psf
2. Roof:
 - a. live load: 35 psf
 - b. dead load: 10 psf

Job site is to be brown cleared at the end of each workday.

Division 6: Wood & Plastic

Provide lumber and materials meeting or exceeding the following standards of quality:

1. Framing stock to be SPF # 2 or better
 - a. Modulus of Elasticity: 1,300,000 psi
 - b. Shear Modulus of Elasticity: 10,000 psi
 - c. Horizontal Shear: 70 psi
 - d. Bending Stress: 725 psi
 - e. Compression Stress: 725 psi
2. All headers and beams shall be free from splits, checks, and shakes.
3. Sheathing:
 - a. Floors: 3/4" T & G, glued and nailed to framing members
 - b. Walls: 5/8" T & G, nailed to framing members
 - c. roof: 5/8" Zip System Plywood
4. Rough Hardware:
 - a. Use hot dipped galvanized nails for all exterior framing and trim. Use stainless steel nails for all decking, rail, and railing.
 - b. Install joist and beam hangers capable of supporting the maximum allowable load of joist or beam being supported.

Engineered Lumber:
1. LVL's (Trus-Joist Corp. or equal) shall meet the following design stresses:

- a. Shear Modulus of Elasticity: 112,500 psi
- b. Modulus of Elasticity: 1,800,000 psi
- c. Compression perpendicular to grain: 720 psi
- d. Compression parallel to grain: 2,460 psi
- f. Horizontal Shear: 235 psi

2. Follow manufacturer's specifications and limitations for installation, cutting, nailing, drilling, and reinforcing of all engineered lumber.
3. All LVL's are 1 1/2" width unless otherwise specified.

Use 2 x 6 studs, 16" o.c. at all exterior and 2x4 interior walls and plates, except as noted. Sinks shall be continuous between points of lateral support.

1. Block and post sold at all concentrated load points, down to foundation.
2. All exterior walls shall be finished with vinyl or stone veneer, as specified.
3. Provide all necessary fire stops at all required locations.

All wood plates bearing on concrete or masonry shall be pressure treated and installed over all seal.

- a. Still plates to be 2 x 6, bottom plate of P, I, stock, except as noted, with anchor bolts.

Exterior Trim:

1. Door and window casings to match existing.
2. Z" finish horizontal trimboards.

Interior Trim:

1. Casings to match existing.
2. Baseboards to match existing.

Follow code guidelines for cutting and notching of framing members.
Schedule all inspections in a timely fashion.

Review layout in field with owner and General Contractor to verify locations of all switching and lighting.

Owner to provide all lighting fixtures for contractor to install.

Division 16: Electrical

Provide thermal building insulation at assemblies adjacent to exterior or unheated spaces meeting these minimum requirements:

1. Walls: R-19
2. Floor: R-22
3. Ceiling: R-30
4. Install in continuous blankets without holes for electrical boxes, light fixtures, or heating ductwork.

Install 4 mil stabilized polyethylene vapor barrier against interior face of all thermal insulation.

Sliding shall match existing, align with major architectural elements. Install over house wrap (Tyvek or equal).

Provide flashing and sheet metal required to prevent penetration of water through the exterior shell to the building envelope.
1. Z" flash at horizontal conditions.

2. Step flash at cheek wall conditions.
3. All sheet metal flashing shall be lead-coated copper.

Provide attic and roof ventilation as required. Provide appropriate soffit vents.

Division 8: Doors and Windows

- Interior doors to match existing.
1. Width as noted on drawings.
 2. Pushing in wood jamb.

Windows:

1. Type, style, and model selected by owner

Division 9: Finishes

Gypsum wallboard, blueboard with 1/8" skimcoat of plaster, unless otherwise noted, shall be provided as follows:

1. Exterior Walls: 1 layer - 1/2" or interior face only.
2. Interior Walls: 1 layer - 1/2" each face.
3. Ceilings: 1 layer - 1/2" over 1x6 sheathing.

Provide metal corner bead and trim as recommended by gypsum wallboard manufacturer.

Tape, float, and sand all joints and fasteners of gypsum wallboard prior to skimcoat.

Painting:

1. Exterior Painting
 - a. 2 coats of latex solid color stain over pre-painted stock.
 - b. 1 coat of semi-gloss enamel on all woodwork.
 - c. Submit color charts for Architect's selection for a four-color scheme.
2. Interior Painting
 - a. 1 latex primer sealer for all gypsum board.
 - b. 1 latex primer for all woodwork and bathroom walls.
 - c. h. Allied oil primer for all woodwork and bathroom walls.
 - d. Finish 2 coats throughout.
 - e. 1. Latex stain finish on all walls except bathroom.
 - f. 1. Latex semi-gloss enamel on all woodwork.
 - iii. Latex semi-gloss enamel on all woodwork.
 - c. Acceptable manufacturers: Benjamin Moore, California, Devco, and Sherwin Williams.

Hardwood to be replacement select grade oak with dark piece called 2 1/2" x 11 1/2" T&G.

1. Finish with 2 coats of water-based commercial catalyzed sealer and 2 coats of Street Shoe floor finish, available from Basic Coatings, Des Moines, Iowa.

Division 15: Mechanical & Plumbing

General

1. All services to be design build.
2. Trades are to coordinate layout and location of equipment with General Contractor.
3. Follow code guidelines for cutting and notching of framing members.
4. Schedule all inspections in a timely fashion.

Plumbing

1. Provide plumbing contractor to provide building inspector with any and all required drawings, i.e., riser diagrams, etc., with permit application.

2. See site plan for location of required fixtures.

Pipe sizing:

- a. Supply pipe to be type 'L' copper, minimum 1/2" for branch lines and 3/4"

- b. Drain lines to be PVC-C, size as required by code.

Mechanical

1. Provide mechanical contractor to provide complete listing and sizes of all equipment proposed for use.

2. Upon acceptance, a layout that locates all equipment and routing of all ductwork is to be submitted to the Architect for review and approval.

3. All supply and return trunk ducts shall be accurately installed in the first 10 feet spaces.
4. Provide make-up/combustion air per code requirements.

5. Provide exhaust fans in all full baths and half baths.

A-001

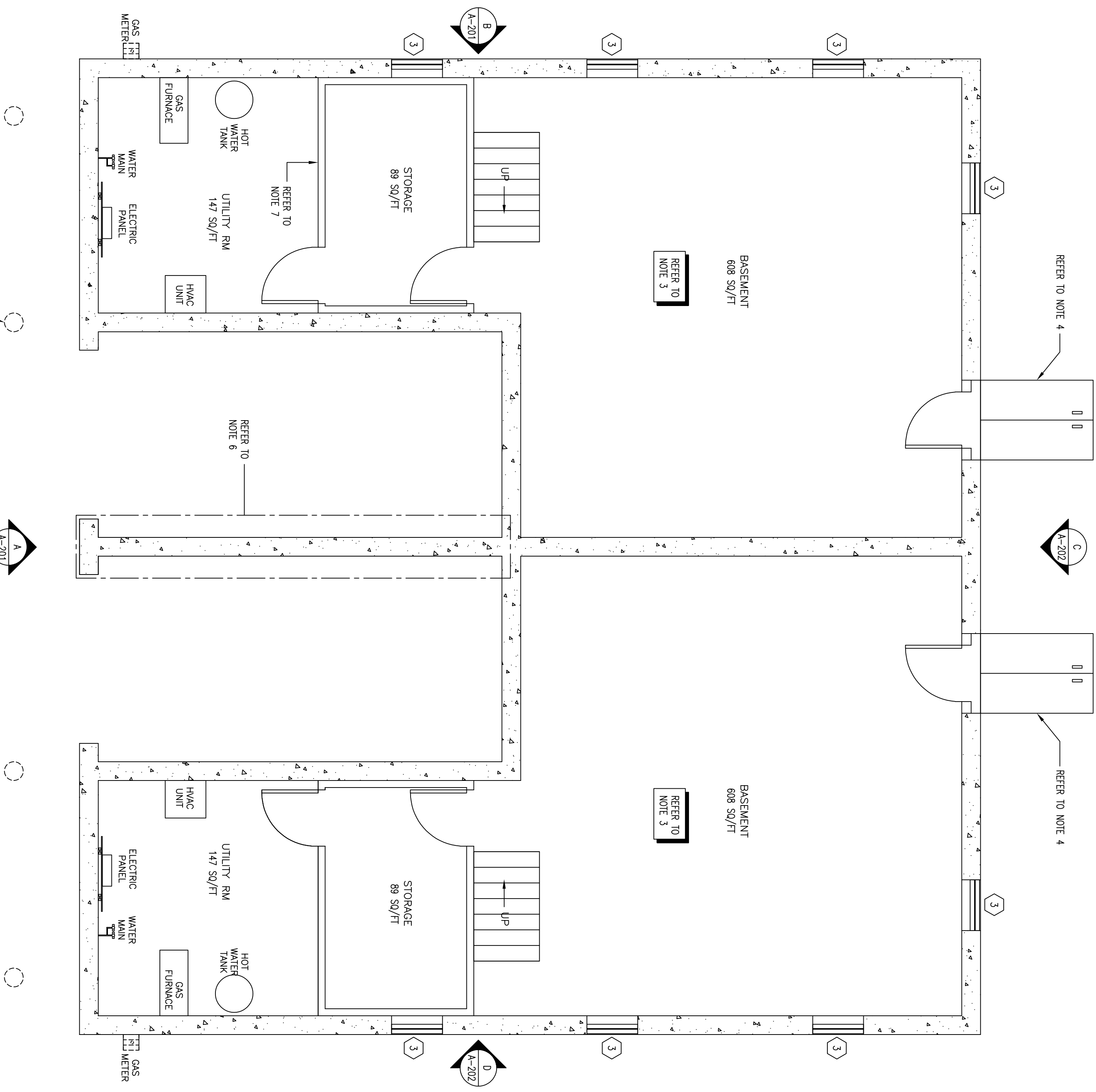
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DUPLEX

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01604

REVISIONS	TITLE	DATE

DATE ISSUED FOR CONSTRUCTION:
JULY 9, 2021

DRAWING TITLE:
ARCHITECTURAL
BASEMENT PLAN
AND BASEMENT
DIMENSION PLAN

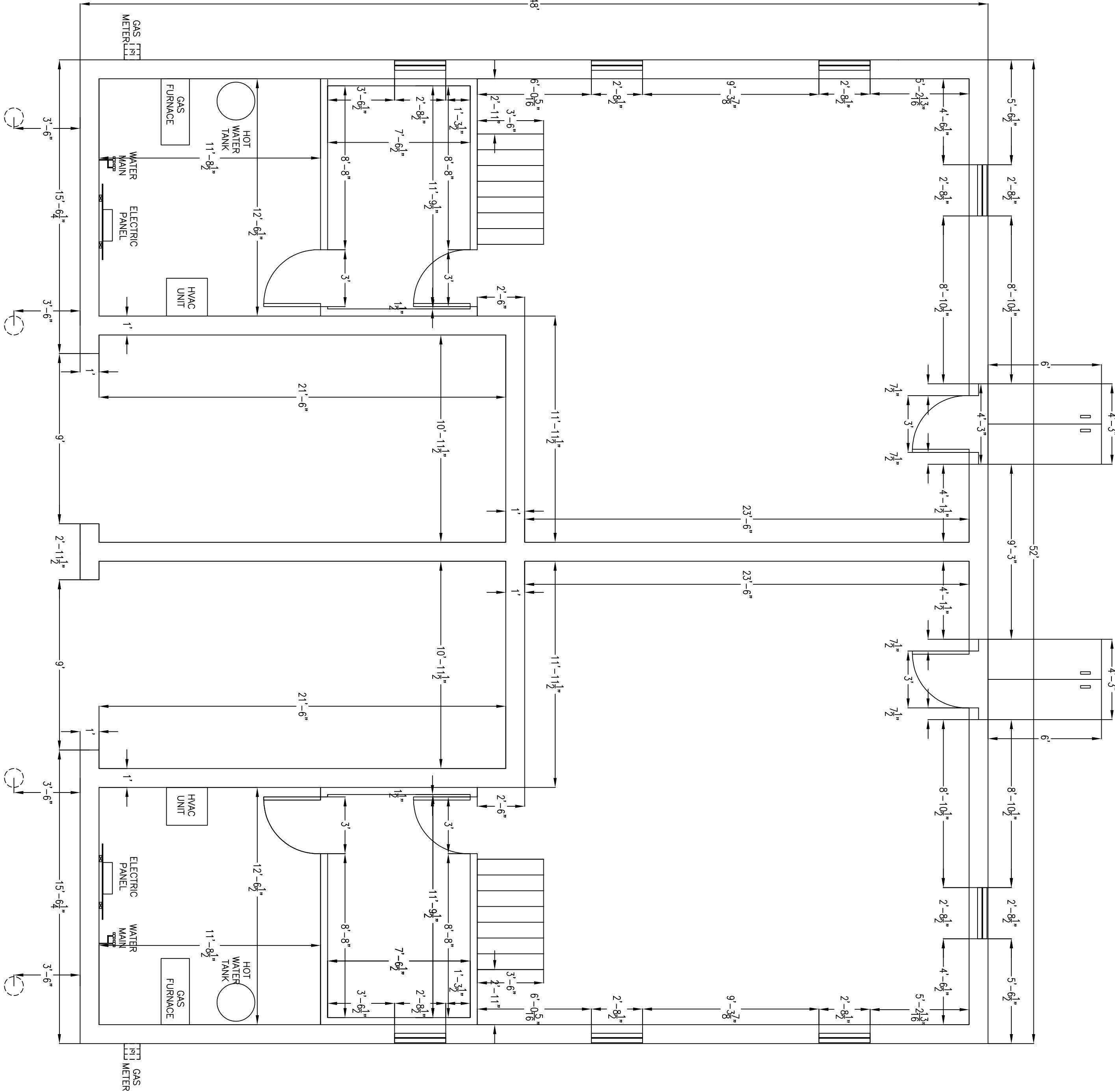


ARCHITECTURAL BASEMENT FLOOR PLAN

12x12 STEEL BEAMS FOR FOOTING
FOR FRONT PORCH (TYPICAL OF
2 PER UNIT, 4 PER HOUSE)
TUB TO BE DISCARDED AT THE
4' BASE MARK UNDERGROUND.

- GENERAL NOTES
- G.C. IS TO ENSURE THE PROPER SITE PREPARATIONS ARE IN PLACE PRIOR TO FOUNDATION CONTRACTOR PLACING FORMS. USE SHOWN FOUNDATION DIMENSIONS.
 - PERFORMED TO VERIFY EXACT LOCATIONS OF BUILDING FOOTPRINT PRIOR TO FOUNDATION CONTRACTOR'S FORMS PLACEMENT.
 - BASEMENT AREA TO BE 8'-0" FROM TOP OF FINISHED BASEMENT SLAB TO BOTTOM OF GRAVEL JOIST, TYPICAL THROUGHOUT ENTIRE BASEMENT SPACE. SLAB TO BE FOUNDED 4' THICK.
 - G.C. AND SITE CONTRACTOR TO INSTALL NEW BULK HEAD DOOR AND STAIR SYSTEM, G.C. TO SELECT BULK HEAD TYPE AND STYLE PRIOR TO FOUNDED. FOUNDATION CONTRACTOR TO PROVIDE EXACT MODEL SUPPLIED BY G.C.
 - G.C. TO COORDINATE WITH PLUMBING CONTRACTOR, MECHANICAL CONTRACTOR, ELECTRICIAN AND LOCAL UTILITIES FOR INSTALLATION OF ALL SERVICES TO EACH UNIT.
 - INSPECTION OF FOUNDATION TO BE MADE AT A MINIMUM OF 48 HOURS PRIOR TO A HAVE ATTACHED REBAR INTO THE 8' FOUNDATION WALL. REFER TO DETAILS ON A-300 FOR MORE INFORMATION.
 - CONSTRUCTION, SILL PLATES TO BE DOUBLED. REBAR DIMENSIONS TO BE 12'-0" x 12'-0". SECOND SILL TO BE ON TOP OF 1st SILL.

ARCHITECTURAL BASEMENT DIMENSION PLAN



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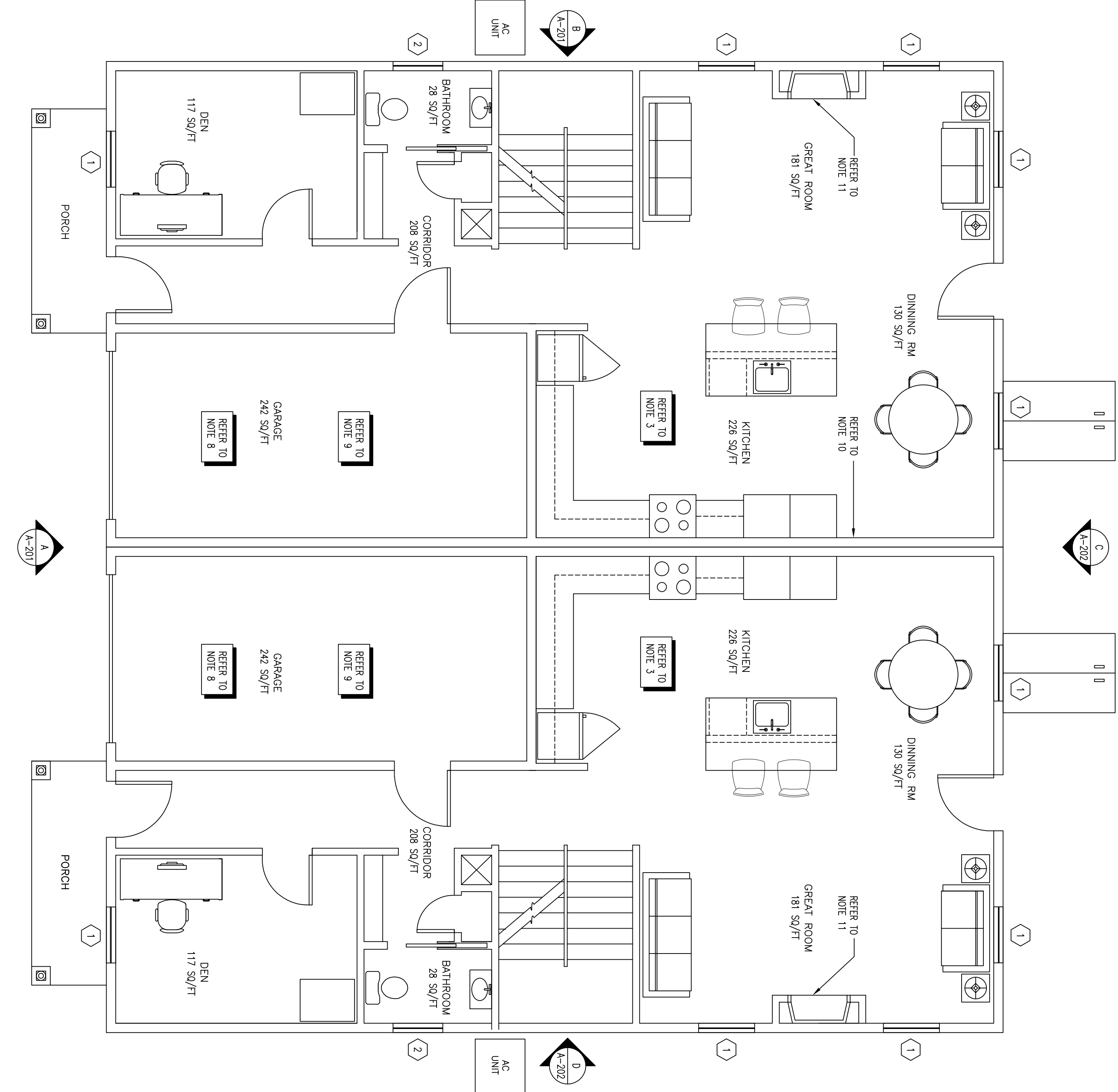
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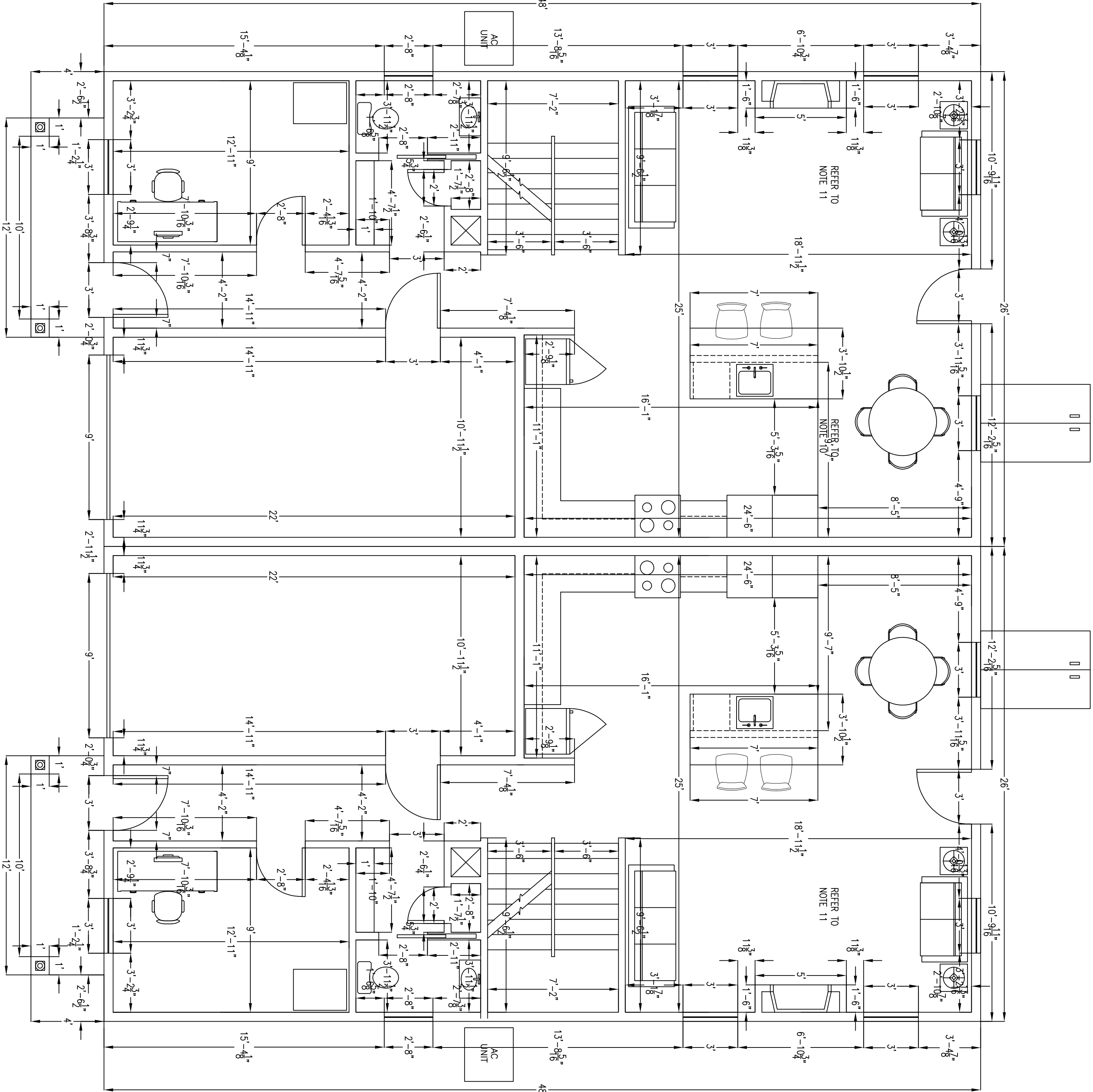
DATE ISSUED FOR CONSTRUCTION:
JULY 9, 2021

DRAWING TITLE:
ARCHITECTURAL
FIRST FLOOR PLAN
AND FIRST FLOOR
DIMENSION PLAN

A-102



ARCHITECTURAL FIRST FLOOR PLAN
1/4" = 1'-0"



ARCHITECTURAL FIRST FLOOR DIMENSION PLAN
1/4" = 1'-0"

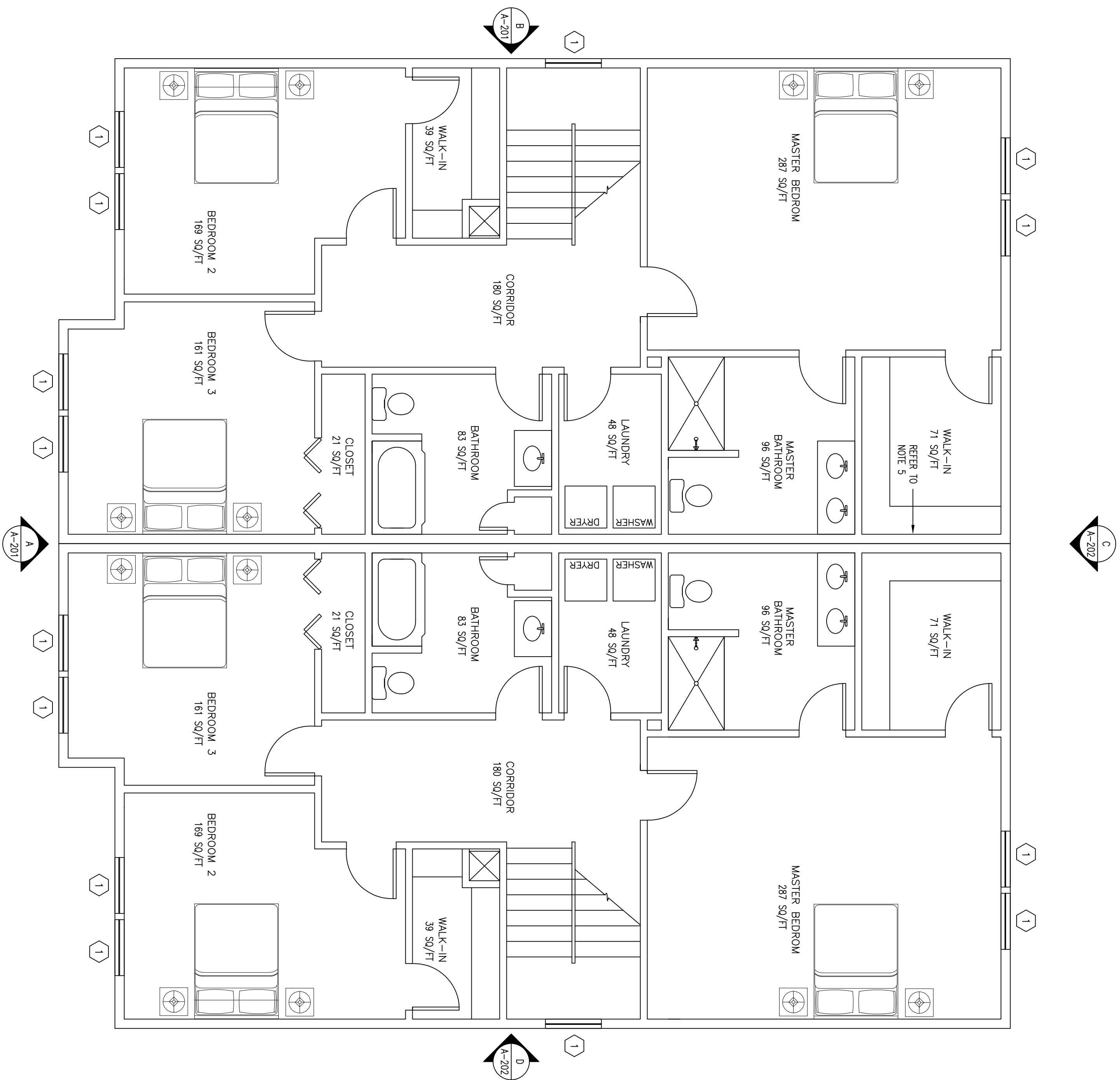
- GENERAL NOTES
1. ALL WALL FRAMING TO BE 2X6 CONSTRUCTION FOR ALL EXTERIOR WALLS AND 2X4 CONSTRUCTION ON ALL INTERIOR WALLS. ALL EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD. CONSTRUCTION IS THE PARTY WALL BETWEEN UNITS. WALL FRAMING TO BE COORDINATED WITH G.C., FRAMER, AND LOWER FLOOR STRUCTURAL ENGINEER. ALL U/L CONFIGURATIONS TO BE DESIGNED AND REVIEWED BY LOWER FLOOR STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. ALL EXTERIOR WALLS TO BE COORDINATED WITH G.C., FRAMER, AND LOWER FLOOR STRUCTURAL ENGINEER. ALL U/L CONFIGURATIONS TO BE DESIGNED AND REVIEWED BY LOWER FLOOR STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 2. GARAGE DOORS TO BE SELECTED BY GENERAL CONTRACTOR AND INSTALLED BY GARAGE DOOR CONTRACTOR.
 3. FRONT ENTRANCE DECK TO BE CONSTRUCTED OF AZEK DECKING SYSTEM. COLOR AND STYLE SELECTED BY GENERAL CONTRACTOR.
 4. GARAGE DOORS TO BE SELECTED BY GENERAL CONTRACTOR AND INSTALLED BY GARAGE DOOR CONTRACTOR.
 5. FRONT ENTRANCE DECK TO BE CONSTRUCTED OF AZEK DECKING SYSTEM. COLOR AND STYLE SELECTED BY GENERAL CONTRACTOR.
 6. ALL WINDOWS TO BE ORDERED FROM A-1 WHOLESALE WINDOWS. STYLE AND SIZE TO BE SELECTED BY GENERAL CONTRACTOR. WINDOW SIZES TO BE SHOWN ON DRAWING A-101 ARE PLACE HOLDERS FOR WINDOW SELECTION.
 7. ALL DOORS WITHIN EACH DUPLEX TO BE SELECTED BY GENERAL CONTRACTOR. SIZES TO BE APPROVED BY GENERAL CONTRACTOR AND LOWER FLOOR STRUCTURAL ENGINEER. ALL DOORS TO BE COORDINATED WITH G.C., FRAMER, AND LOWER FLOOR STRUCTURAL ENGINEER. ALL U/L CONFIGURATIONS TO BE DESIGNED AND REVIEWED BY LOWER FLOOR STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 8. CONCRETE SLAB ON GRADE. CONCRETE MIX TO BE 4500 PSI.
 9. DRIVEWAY WITHIN THE GARAGE SPACE TO BE 5/8" SHEET ROCK TO MEET 1 HOUR FIRE RATING.
 10. WALL BETWEEN UNITS TO BE A DOUBLE WALL FRAMED NEXT TO EACH OTHER WITH 5/8" SHEET ROCK TO MEET 1 HOUR FIRE RATING.
 11. BUILT IN GAS FIRE PLACE. EXACT MAKE MODEL AND DIMENSIONS TO BE SELECTED BY GENERAL CONTRACTOR. THE FRAMING OF THE GAS FIRE PLACE MAY CHANGE DUE TO DIMENSIONS OF SELECTED MODEL. ALONG WITH THE PLUMBING AND ELECTRICAL CONNECTIONS, GENERAL CONTRACTOR TO COORDINATE WITH GAS FIRE PLACE LAYOUT PRIOR TO FRAMING.
 12. G.C. TO COORDINATE WITH PLUMBING CONTRACTOR, MECHANICAL CONTRACTOR, AND ELECTRICAL FOR INSTALLATIONS OF ALL SYSTEMS WITHIN EACH DUPLEX UNIT TO HAVE ITS OWN INDIVIDUAL SYSTEMS AND TO BE SEPARATE FROM EACH OTHER.

ARCHITECTURAL FIRST FLOOR PLAN
1/4" = 1'-0"

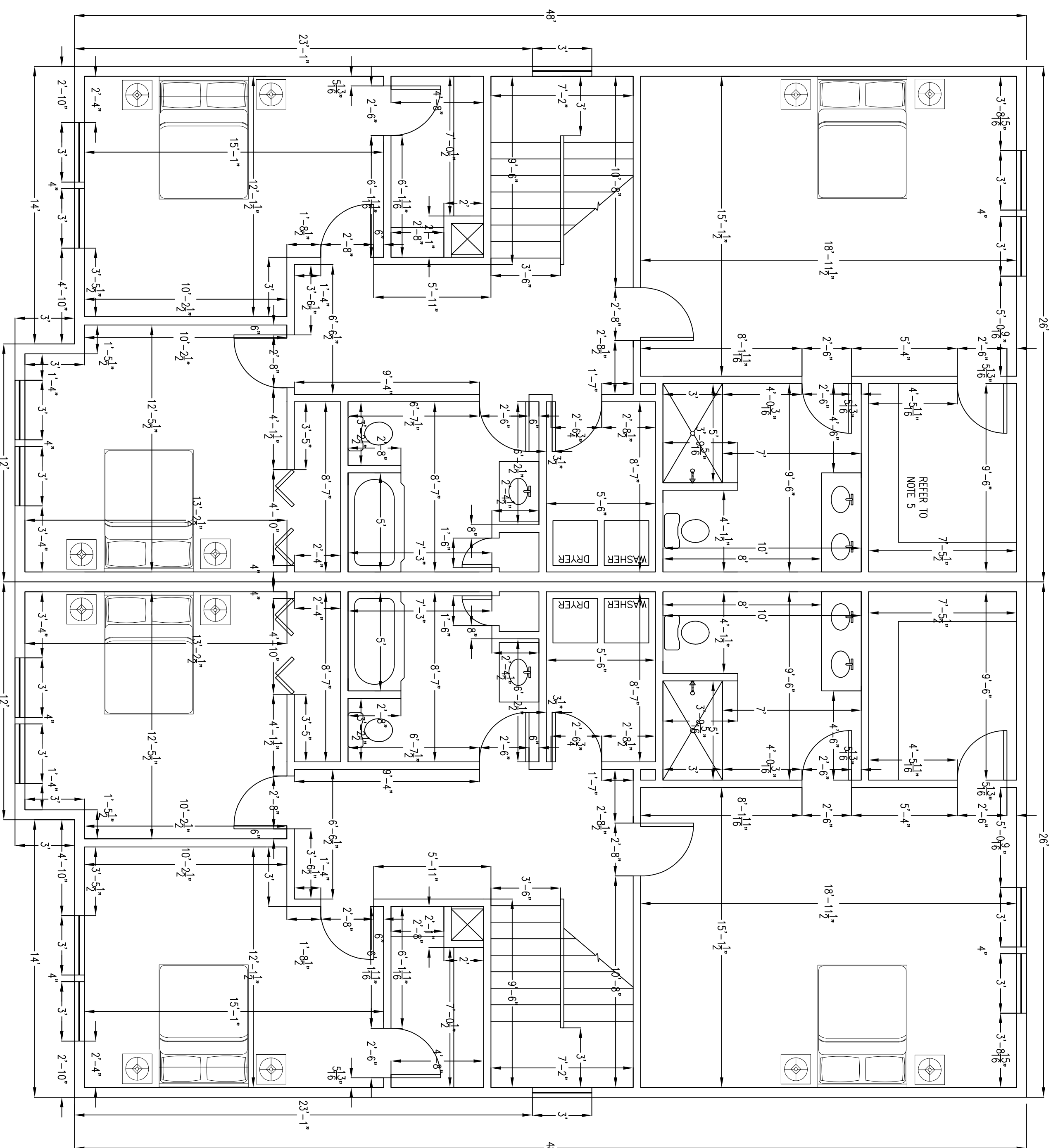
ARCHITECTURAL FIRST FLOOR DIMENSION PLAN
1/4" = 1'-0"

PROJECT NAME:
SCANDACE & HARRY
AVERY DEVELOPMENT
DUPLEX

PROJECT ADDRESS:
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WORCESTER, MA.
01604



ARCHITECTURAL SECOND FLOOR PLAN
1/4"=1'-0"



ARCHITECTURAL SECOND FLOOR DIMENSION PLAN
1/4"=1'-0"

1. ALL WALL FINISHING TO BE 216 INCHES FROM EXTERIOR WALLS AND 216 INCHES FROM INTERIOR WALLS TO THE 214 INTERIOR WALL. CONSTRUCTION IS THE PARTY WALL BETWEEN UNITS. WALL FINISHING TO BE COORDINATED WITH G.C., FRAMER, AND LUMBER VARD STRUCTURAL ENGINEER TO BE COMPLETED BY SECOND FLOOR TO BE COMPLETED BY SECOND FLOOR.
2. ALL INTERIOR WALL FINISHING TO BE COORDINATED WITH G.C., FRAMER, AND LUMBER VARD STRUCTURAL ENGINEER. ALL LVL COMPARISONS TO BE DESIGNED AND REVIEWED BY LUMBER VARD STRUCTURAL ENGINEER PRIOR TO PURCHASE AND INSTALLATION.
3. ALL WINDOWS AND DOORS TO BE SELECTED BY GENERAL CONTRACTOR AND THE TO BE SELECTED BY GENERAL CONTRACTOR. WINDOW SCHEDULE ON DRAWING A-01 ARE PLACE. HOLDERS FOR WINDOW SELECTION.
4. ALL DOORS WITH EACH DUPLEX TO BE SELECTED BY GENERAL CONTRACTOR. DOOR SCHEDULE PRIOR TO ORDERING.
5. WALL FINISHING TO BE A DOUBLE WALL. FRAEM NEXT TO EACH OTHER WITH 5/8" SHEET ROCK TO MEET 1 HOUR FIRE RATING.
6. CONTRACTOR, MECHANICAL CONTRACTOR, AND ELECTRICAL CONTRACTOR TO HAVE ITS OWN INDIVIDUAL SYSTEMS THROUGHT EACH UNIT. EACH UNIT TO HAVE ITS OWN INDIVIDUAL SYSTEMS AND TO BE SEPARATE FROM EACH OTHER.

[illegible]

DATE ISSUED FOR CONSTRUCTION:
JULY 9, 2021

DRAWING TITLE:

ARCHITECTURAL
SECOND FLOOR
PLAN AND SECOND
FLOOR DIMENSION
PLAN

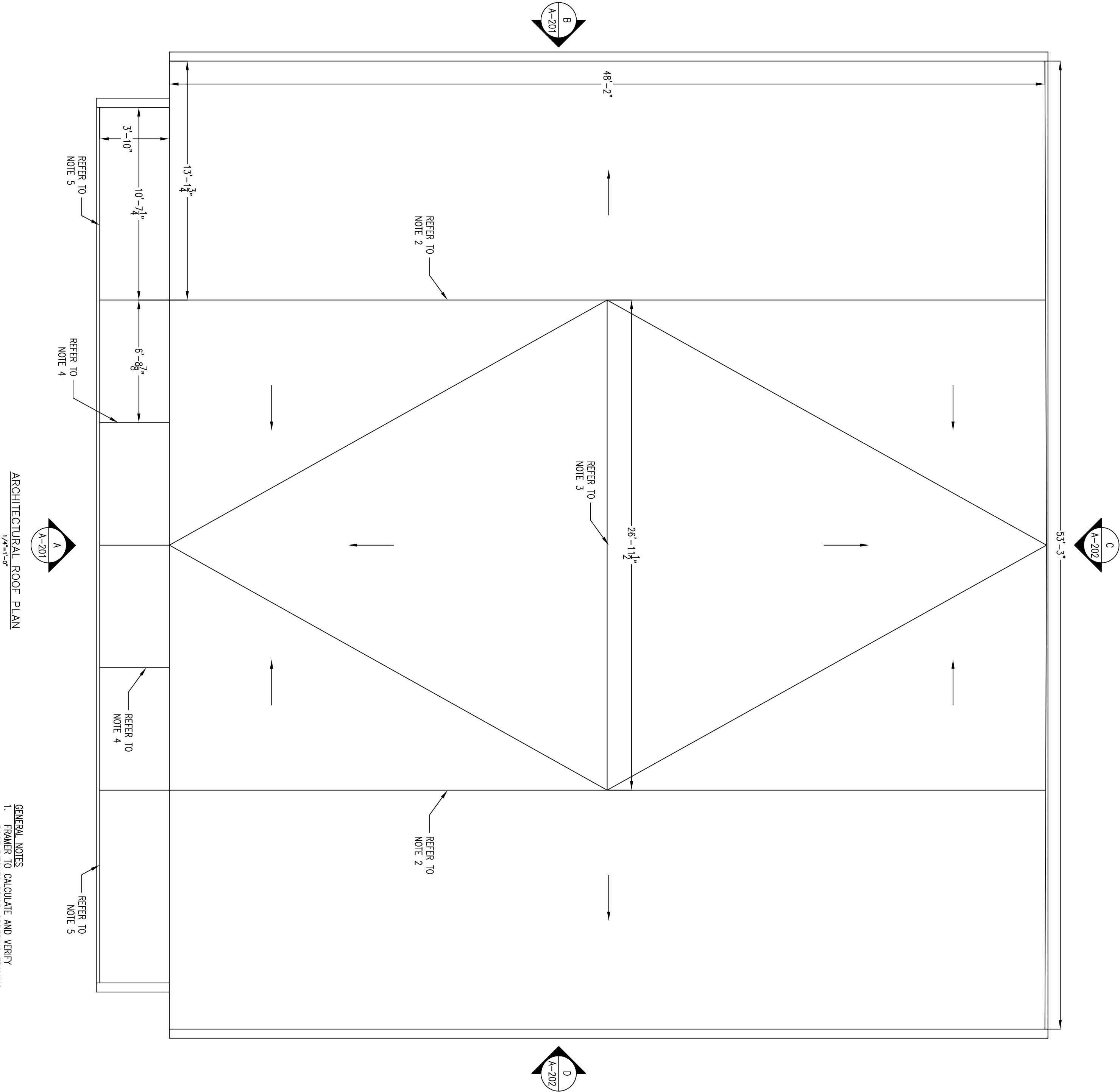


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ARCHITECTURAL ROOF PLAN

- GENERAL NOTES
1. FRAMER TO CALCULATE AND VERIFY ROOF PITCHES PRIOR ORDERING FRAMING MEMBERS, E.C., AND PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL. STRUCTURAL ENGINEER ON FINAL SIZING OF MEMBERS.
 2. ROOF PITCH TO BE 8/12. THE ROOF OF THE FINISH ROOF IS NOT TO EXCEED MAXIMIZE HEIGHT OF 30' FROM FINISHED GRADE TO TOP OF FINISH ROOF, AS SPECIFIED IN THE BUILDING CODE.
 3. ALL ROOF HEIGHTS FROM GABLE ENDS TO CONJOINING ROOF ARE TO EQUAL, SO THAT THE ROOF IS TO BE CONTINUOUS ROOF SYSTEM.
 4. THE FINISH ROOF ARE TO EQUAL, SO PROVIDE CUT FROM THE FRONT GABLE END ARE TO MIRROR THE SAME 8/12 PITCH AS THE MAIN ROOF.
 5. THE ROOFS OVER THE MAIN ENTRY PORCH ARE TO BE 7/12.

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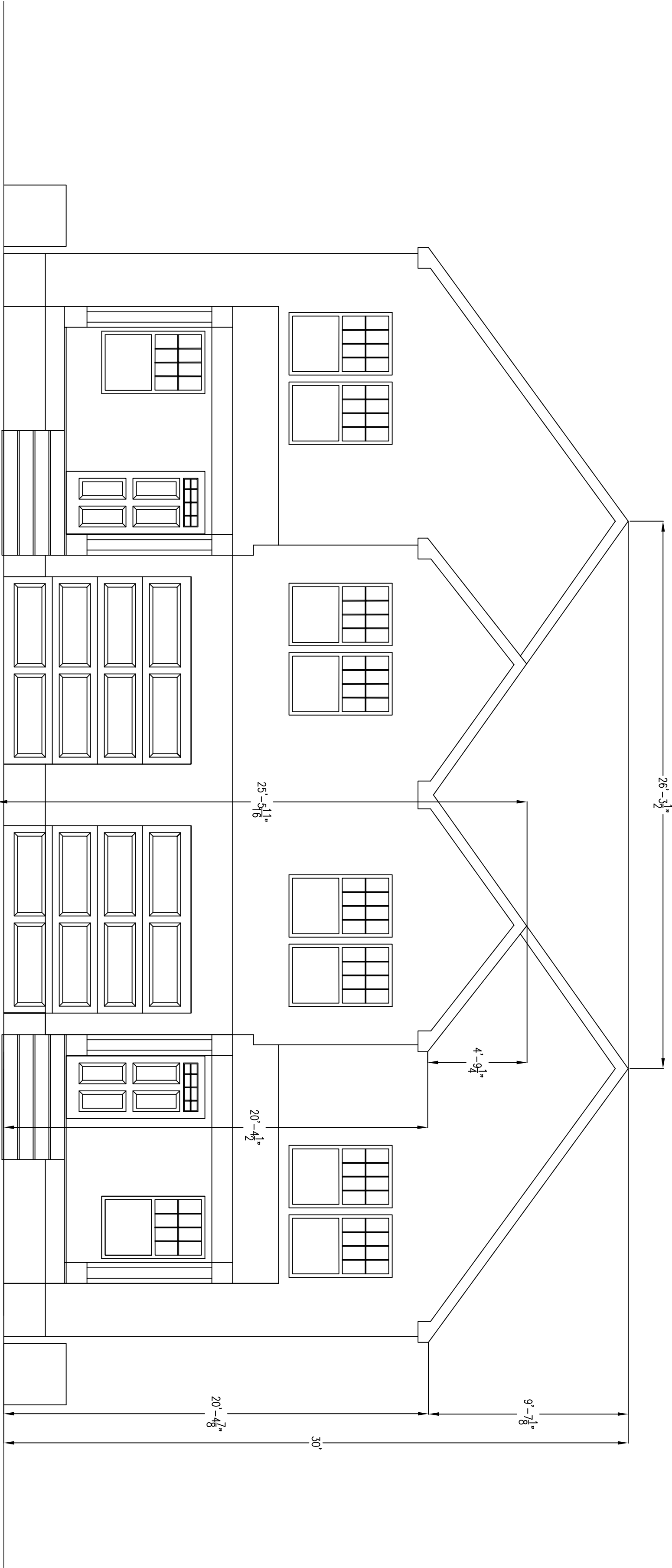
DRAWING TITLE:
ARCHITECTURAL
ROOF PLAN

A-104

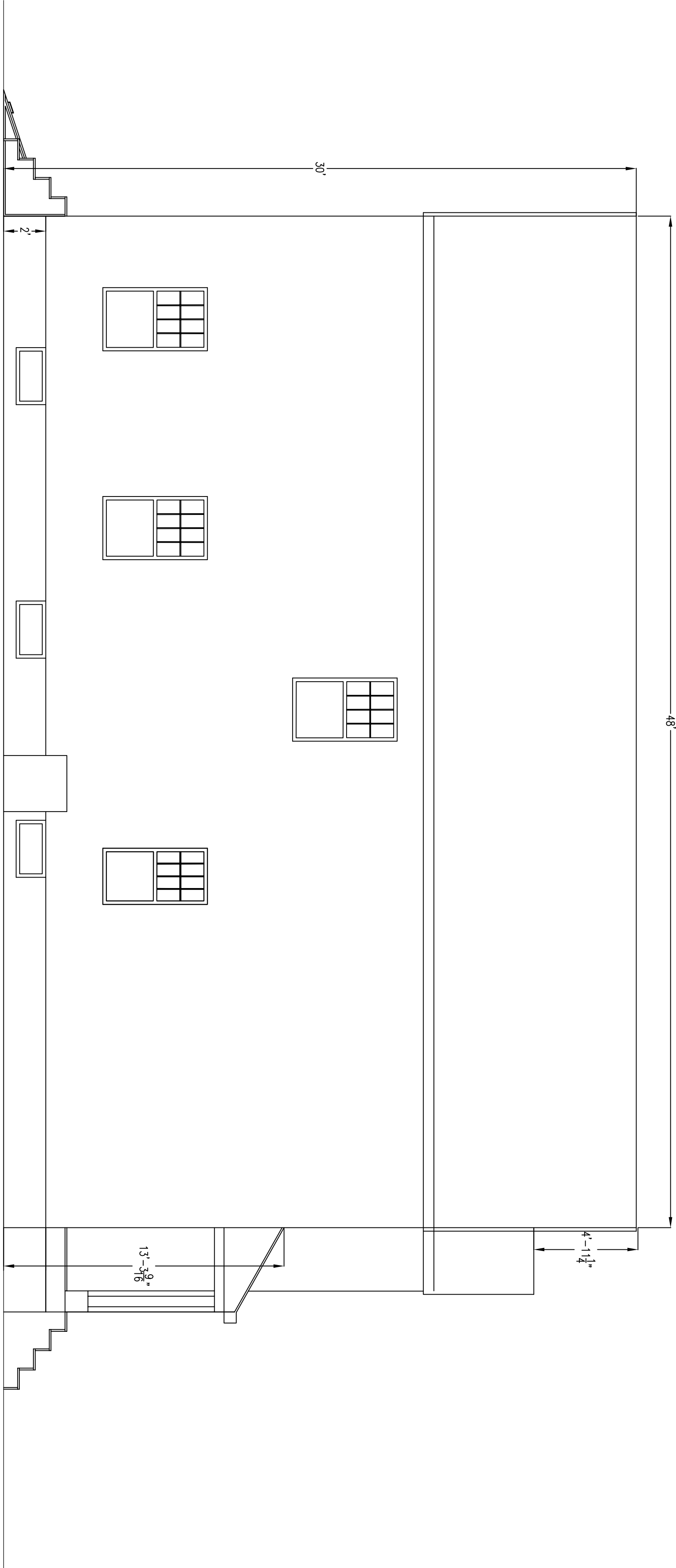
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AVERY DEVELOPMENT
DUPLEX

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01604

- GENERAL NOTES
- DIMENSIONING OF THE ELEVATIONS ARE TO BE BASED ON THE FINISHED GRADE. FINISHED GRADES ARE TO BE AGREED UPON BY THE GENERAL CONTRACTOR, FRAMER, AND LUMBER YARD.
 - THE FINISHED BUILDING HEIGHT IS NOT TO EXCEED 30'-0". THE MAXIMUM HEIGHT OF 30' IS BASED ON THE FINISHED GRADE. FINISHED GRADES ARE TO BE AGREED UPON BY THE GENERAL CONTRACTOR, FRAMER, AND LUMBER YARD.



ARCHITECTURAL ELEVATION A
1/4"=1'-0"



ARCHITECTURAL ELEVATION B
1/4"=1'-0"

REVISIONS	TITLE	DATE

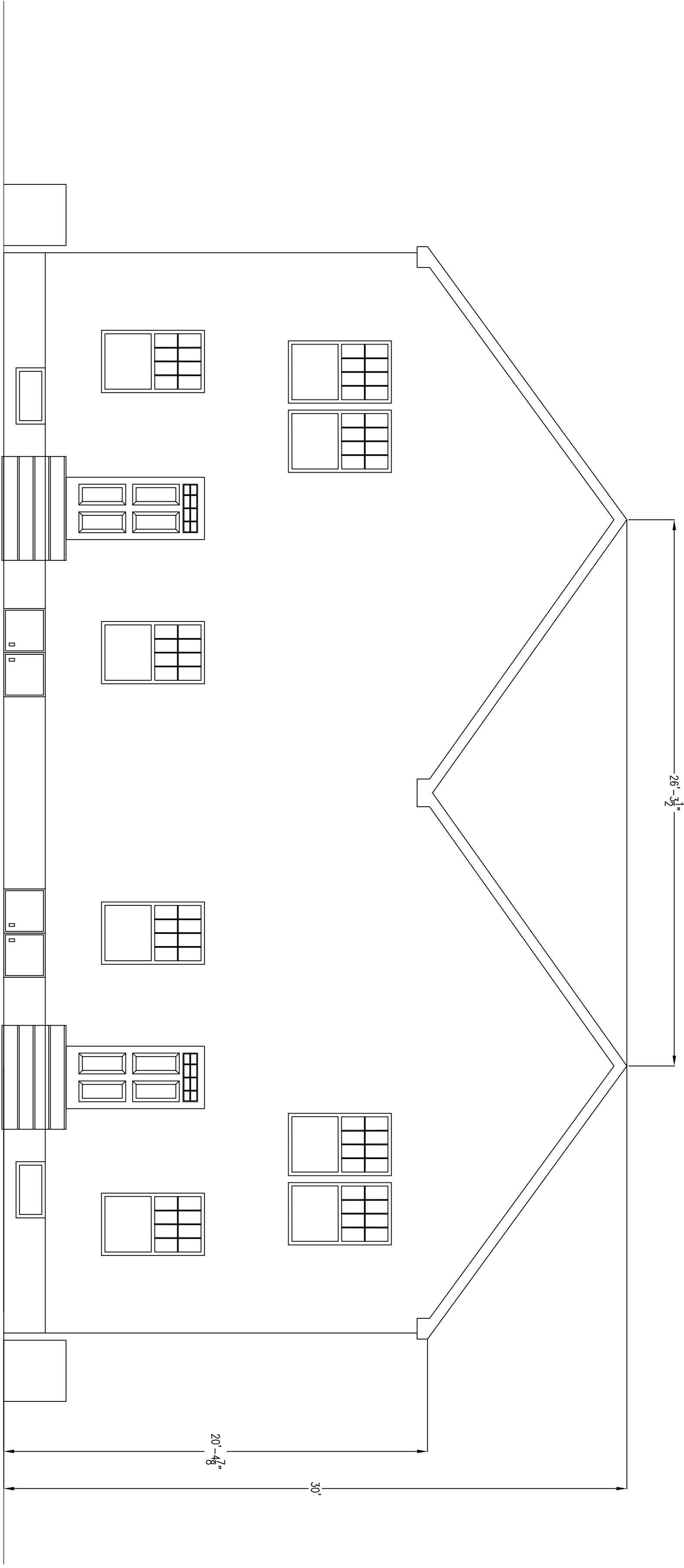
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ARCHITECTURAL
ELEVATIONS

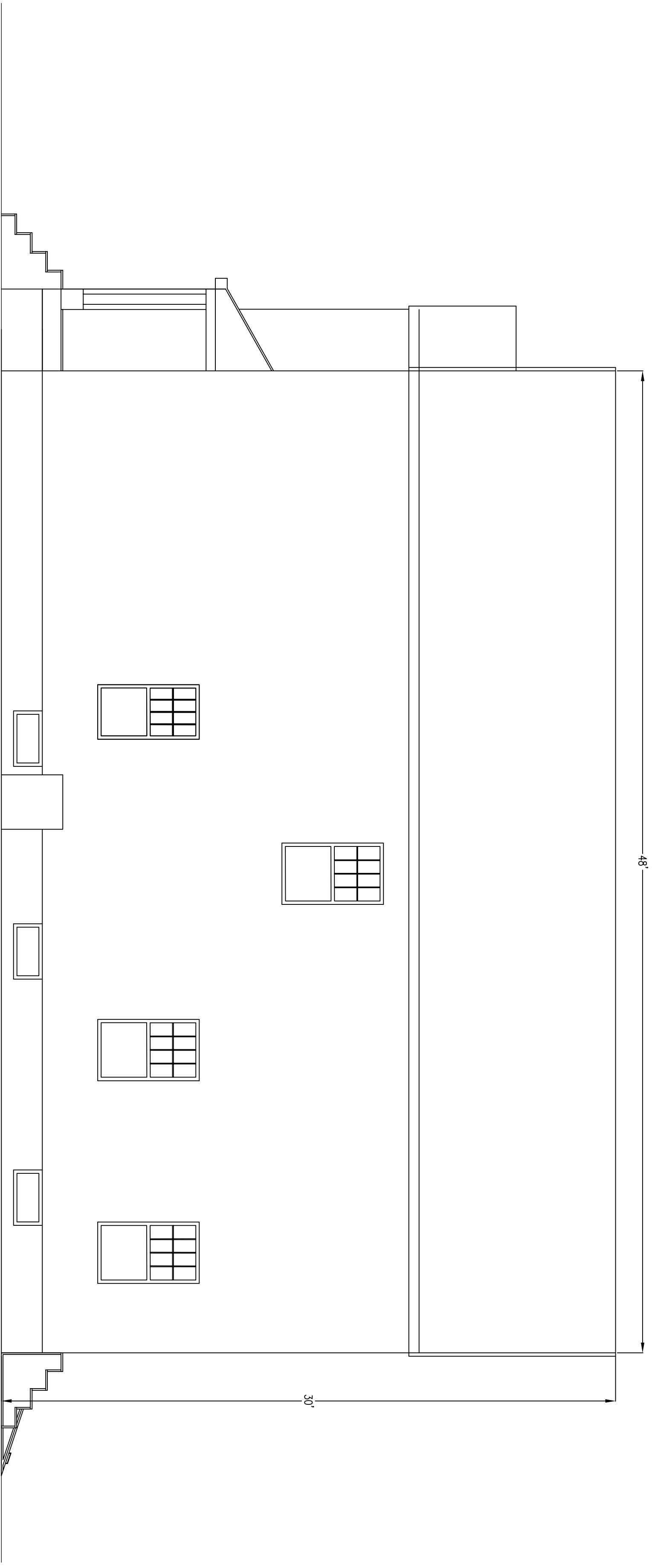
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- GENERAL NOTES
1. DIMENSIONING OF THE ELEVATIONS ARE TO BE BASED ON THE FINISHED GRADE. FINISHED GRADE HEIGHTS ARE TO BE ADDED UPON BY THE GENERAL CONTRACTOR, FRAMER, AND LUMBER YARD.
 2. THE FINISHED BUILDING HEIGHT IS NOT TO EXCEED 30'-0". THE MAXIMIZE HEIGHT FROM FINISHED LOCAL ZONING OR FINISH GRADE FOR THE LOCAL ZONING BUILDING HEIGHT REQUIREMENTS.



ARCHITECTURAL ELEVATION C
1/4"=1'-0"



ARCHITECTURAL ELEVATION D
1/4"=1'-0"

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— BASEMENT WINDOWS TO BE
SELECTED PRIOR TO FORMS
BEING BUILT. EXACT SIZE,
MANUFACTURER, MODEL, AND
MAKE TO BE SPECIFIED BY
GENERAL CONTRACTOR.
(TYPICAL)

10" CONCRETE FOUNDATION WALL WITH (1) #4 CONTINUOUS TOP AND BOTTOM. PROVIDE MIDDLE BAR FOR FULL HEIGHT WALLS. (TYPICAL)

10" CONCRETE FOUNDATION —
WALL WITH (1) #4 CONTINUOUS
TOP AND BOTTOM. PROVIDE
MIDDLE BAR FOR FULL
HEIGHT WALLS. (TYPICAL)

REFER TO
NOTE 4
(TYPICAL)

REFER TO
NOTE 3

ER TO
TE 3

4

4" SLAB ON GRADE
WITH FIBER MESH
REINF.

4" SLAB ON GRADE
WITH FIBER MESH
REINF.

REFER TO
NOTE 5

REFER TO
NOTE 3

INTERSECT BARS TO MATCH
HOR. BARS (TYPICAL)

INTERSECT BARS TO
HOR. BARS (TYPICAL)

STRUCTURAL BASEMENT AND FOUNDATION PLAN
1/4"=1'-0"

12" SAWNA TUBS FOR FOOTING -
FOR FRONT PORCH. (TYPICAL OF
2 PER UNIT, 4 PER HOUSE.)
TUB TO BE MUSHROOMED AT THE
4" BASE MARK UNDERGROUND.

6X6 PT POST
(TYPICAL FOR 4)

1. FRAMING PLANS ARE CONCEPTUAL, ALL MEMBERS, INCLUDING THE ARCHITECT, MUST REVIEW AND APPROVE. REVIEWED BY LUMBER AND STRUCTURAL ENGINEER AND ARE SUBJECT TO CHANGE UPON REVIEW GENERAL CONTRACTOR AND LUMBER AND STRUCTURAL ENGINEER TO CORRECT ANY DISCREPANCIES.
2. THE LUMBER AND STRUCTURAL ENGINEER IS TO SUPPLY STAMPED STRUCTURAL PLANS FOR PURPOSE OF SUBMISSION TO BUILDING DEPARTMENT ONCE A FINAL UO IS REACHED UPON.
3. THE LUMBER AND STRUCTURAL CONNECTION IS TO HAVE A 4" DEEP FIRST WALL FOUNDATION AND TO HAVE A HATCHED REAR END TO THE 8" FOUNDATION WALL. 4" SHALL BE PINNED INTO THE 8" WALL TO ENSURE SCORED CONNECTION.
4. THE 4" SLAB ON GRADE WITH FIBER REINFORCED CONCRETE SHALL BE TO BE A MINIMUM FINISH FLOOR.
5. THE 8" SLAB ON GRADE SHALL BE TO BE A FINISH TO BE HAVE A KEYWAY FOR CONNECTION TO FOUNDATION WALL REFER TO DETAILS FOR FOUNDATION AND RAMP HAVE BEEN REVIEWED AND APPROVED. THE RAMP HAS BEEN REEVALUATED AND THE RAMP HAS BEEN REEVALUATED. SLAB IS TO BE PINCHED FROM THE REAR TO THE FRONT OF THE HOUSE.

STRUCTURAL
BASEMENT AND
FOUNDATION PLAN

A-301

G

P

D

Guiding Project Design

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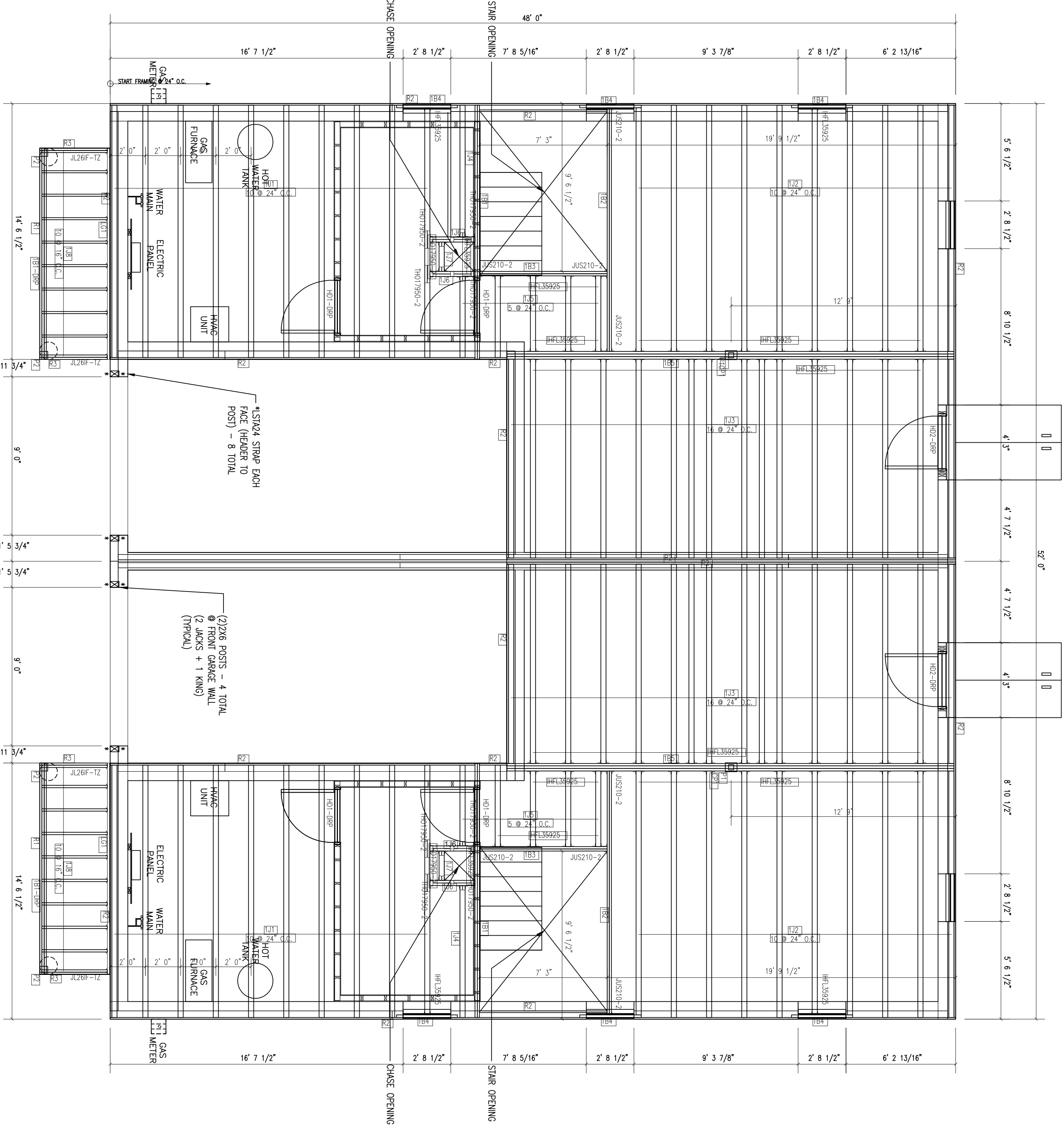
DRAWING TITLE:
STRUCTURAL FIRST
FLOOR PLAN

DATE ISSUED FOR CONSTRUCTION:
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REVISIONS

REVISIONS	TITLE	DATE

- GENERAL NOTES
1. FRAMING PLAN IS CONCEPTUAL. ALL MEMBERS, FASTENERS, AND MATERIALS ARE TO BE REVIEWED BY LUMBER YARD STRUCTURAL ENGINEER. LUMBER YARD STRUCTURAL ENGINEER'S REVIEW SHALL BE BASED UPON REVIEW, GENERAL CONTRACTOR AND LUMBER YARD STRUCTURAL ENGINEER TO AGREE UPON FRAMING PLAN. THE LUMBER YARD IS TO SUPPLY STAMPED STRUCTURAL PLANS FOR PERMIT. ONCE A FINAL LAYOUT IS AGREED UPON, SUBMITTER TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 2. ALL WALL FRAMING TO BE 2X6 CONSTRUCTION FOR ALL EXTERIOR WALLS AND 2X4 CONSTRUCTION ON ALL INTERIOR WALLS. THE OUTLINE OF THE 2X4 INTERIOR WALL CONSTRUCTION IS TO BE 1/2" MIN. WALL THICKNESS. ALL INTERIOR WALLS TO BE CONSTRUCTED WITH G.C., FRAMER AND LUMBER YARD STRUCTURAL ENGINEER.
 3. ALL UVS ARE TO BE CONNECTED GUELED AND FASTENED AS PER LUMBER STRUCTURAL ENGINEER'S REQUIREMENTS.
 4. ALL HANGERS ARE TO BE SWAGSON STRONG TIE JOIST HANGERS, JOINING PLATES, ETC.
 5. REFER TO LUMBER YARD STRUCTURAL ENGINEER PLANS FOR FURTHER INFORMATION.



STRUCTURAL FIRST FLOOR FRAMING PLAN
1/4"=1'-0"

PRODUCTS		
PLTID	LENGTH	PRODUCT
L11	15'-0"	9-1/2" AL50/24 TML
L12	14'-0"	9-1/2" AL50/24 FML
L13	12'-0"	9-1/2" AL50/24 FML
L14	8'-0"	9-1/2" AL50/24 FML
L15	5'-0"	9-1/2" AL50/24 FML
L16	3'-0"	9-1/2" AL50/24 FML
L17	2'-0"	9-1/2" AL50/24 FML
L18	4'-0"	2x8 SPF No.1 PT
L19	15'-0"	1-1/2" x 9-1/2" VERSA-LAM® 1.7 2650 SP
L20	14'-0"	1-1/2" x 9-1/2" VERSA-LAM® 1.7 2650 SP
L21	8'-0"	1-1/2" x 9-1/2" VERSA-LAM® 1.7 2650 SP
L22	4'-0"	1-3/4" x 9-1/2" VERSA-LAM® 1.7 2650 SP
L23	26'-0"	1-3/4" x 11-7/8" VERSA-LAM® 1.7 2650 SP
L24	12'-0"	2x8 SPF No.1 PT
L25	12'-0"	1-1/8" x 9-1/2" BC RM BOARD OSB
L26	12'-0"	2x8 SPF No.1 PT
L27	16'-0"	2x8 SPF No.1 PT
L28	12'-0"	2x8 SPF No.1 PT
L29	8'-0"	2x8 SPF No.1 PT
L30	8'-0"	2x8 SPF No.1 PT
L31	8'-0"	2x8 SPF No.1 PT
L32	8'-0"	2x8 SPF No.1 PT
L33	8'-0"	2x8 SPF No.1 PT
L34	8'-0"	2x8 SPF No.1 PT
L35	8'-0"	2x8 SPF No.1 PT
L36	8'-0"	2x8 SPF No.1 PT
L37	8'-0"	2x8 SPF No.1 PT
L38	8'-0"	2x8 SPF No.1 PT
L39	8'-0"	2x8 SPF No.1 PT
L40	8'-0"	2x8 SPF No.1 PT
L41	8'-0"	2x8 SPF No.1 PT
L42	8'-0"	2x8 SPF No.1 PT
L43	8'-0"	2x8 SPF No.1 PT
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L145	8'-0"	2x8 SPF No.1 PT
L146	8'-0"	2x8 SPF No.1 PT
L147	8'-0"	2x8 SPF No.1 PT
L148	8'-0"	2x8 SPF No.1 PT
L149	8'-0"	2x8 SPF No.1 PT
L150	8'-0"	2x8 SPF No.1 PT
L151		

G

P

D

Guiding Project Design

91 Main Street
Worcester, MA 01604
Tel: (508) 439-2424
Fax: (781) 895-2716

PROJECT NAME:
CANDACE & HARRY
AVERY DEVELOPMENT
DUPLEX

PROJECT ADDRESS:
15-17 WABAN AVE.
WORCESTER, MA.
01604

REVISIONS	TITLE	DATE

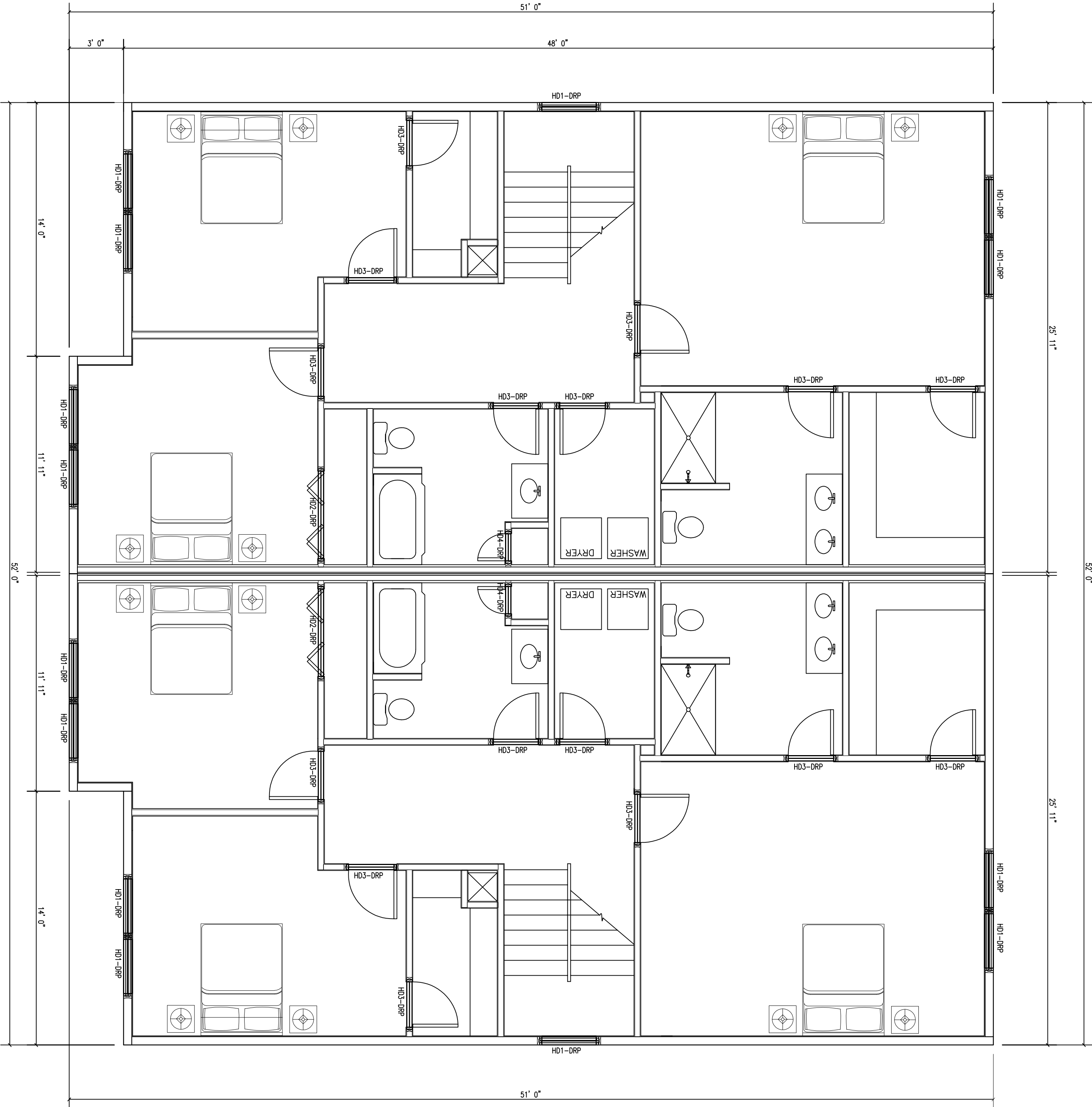
DATE ISSUED FOR CONSTRUCTION:
JULY 9, 2021

DRAWING TITLE:
STRUCTURAL ATTIC
FLOOR PLAN (THIRD
FLOOR)

A-304

PLOTID	LENGTH	PRODUCT	WALL FRAMING	PLUS NET QTY	FAB TYPE
HD1-DRP 4' 0"	2x10	SF No.2		3	42 MFD
HD2-DRP 6' 0"		2x4 SPF No.2		1	4 FF
HD3-DRP 3' 0"		2x4 SPF No.2		1	32 FF
HD4-DRP 2' 0"		2x4 SPF No.2		1	4 FF
		Ply 4x8x1/2 CDX WEST (RED)		1	57 FF

LABEL LEGEND	
1J1, 2J1, ETC. – FLOOR JOIST	
100, 200, 300, 400 – FLOOR TROSS	
500, 600, 700, 800, 900 – ROOF TROSS	
RJ1, RJ2, ETC. – ROOF JOIST	
1B1, 2B1, ETC. – FLUSH BEAM	
1B1-DRP, 2B1-DRP, ETC. – DROPPED BEAM	
RB1, RB2, ETC. – ROOF BEAM	
H1, H2, ETC. – HANGER	
R1, R2, ETC. – RM BOARD	
BLK1, BLK2, ETC. – BLOCKING	
LG1, LG2, ETC. – LEDGER	
□ P1, P2, ETC. – POST DOWN	
☒ – POST UP	
CP1, CP2, ETC. – COLUMN CAP / PLATE	
BP1, BP2, ETC. – COLUMN BASE / PLATE	
HD1-DRP, ETC. – WINDOW / DOOR HEADER	



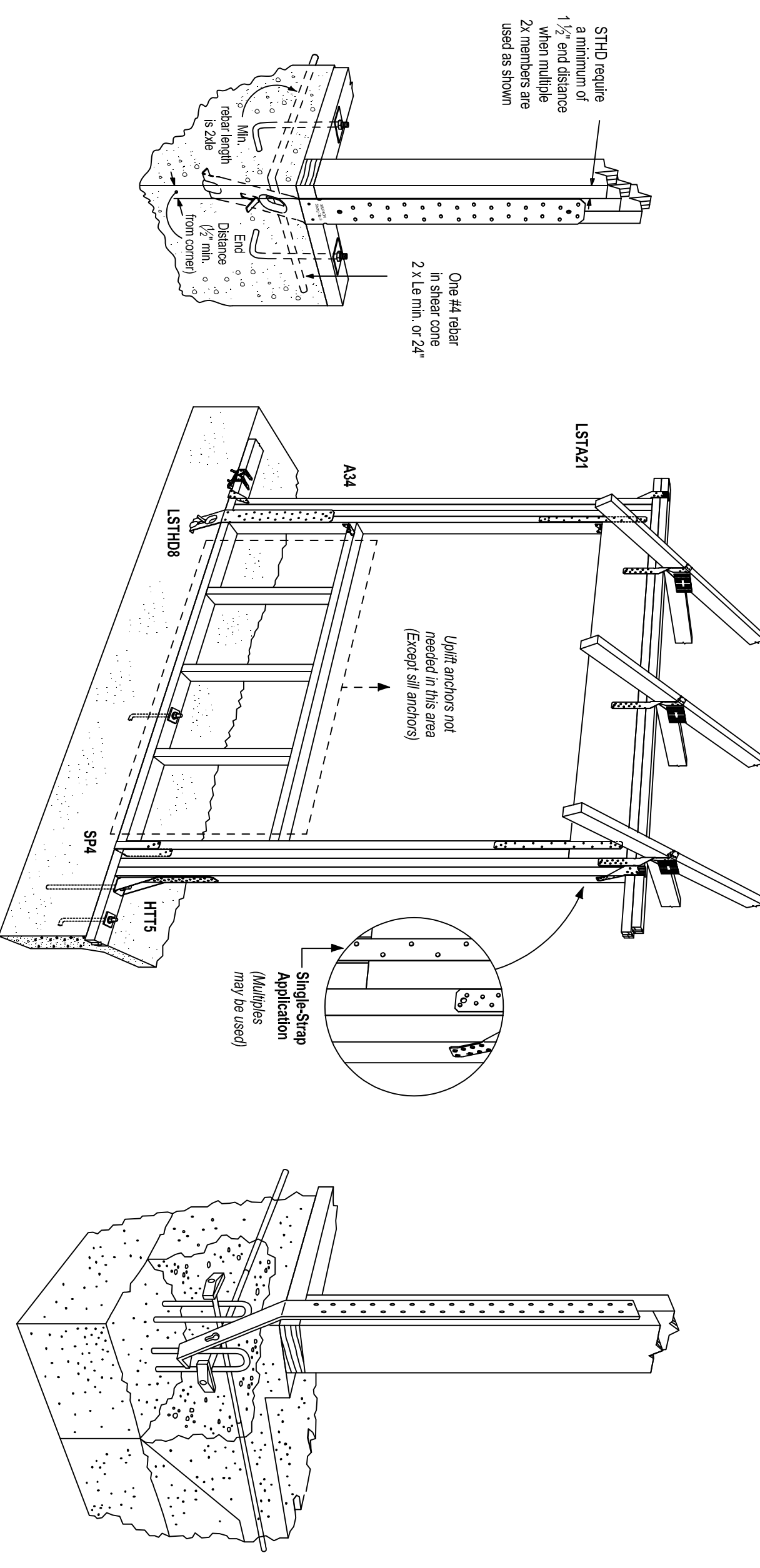
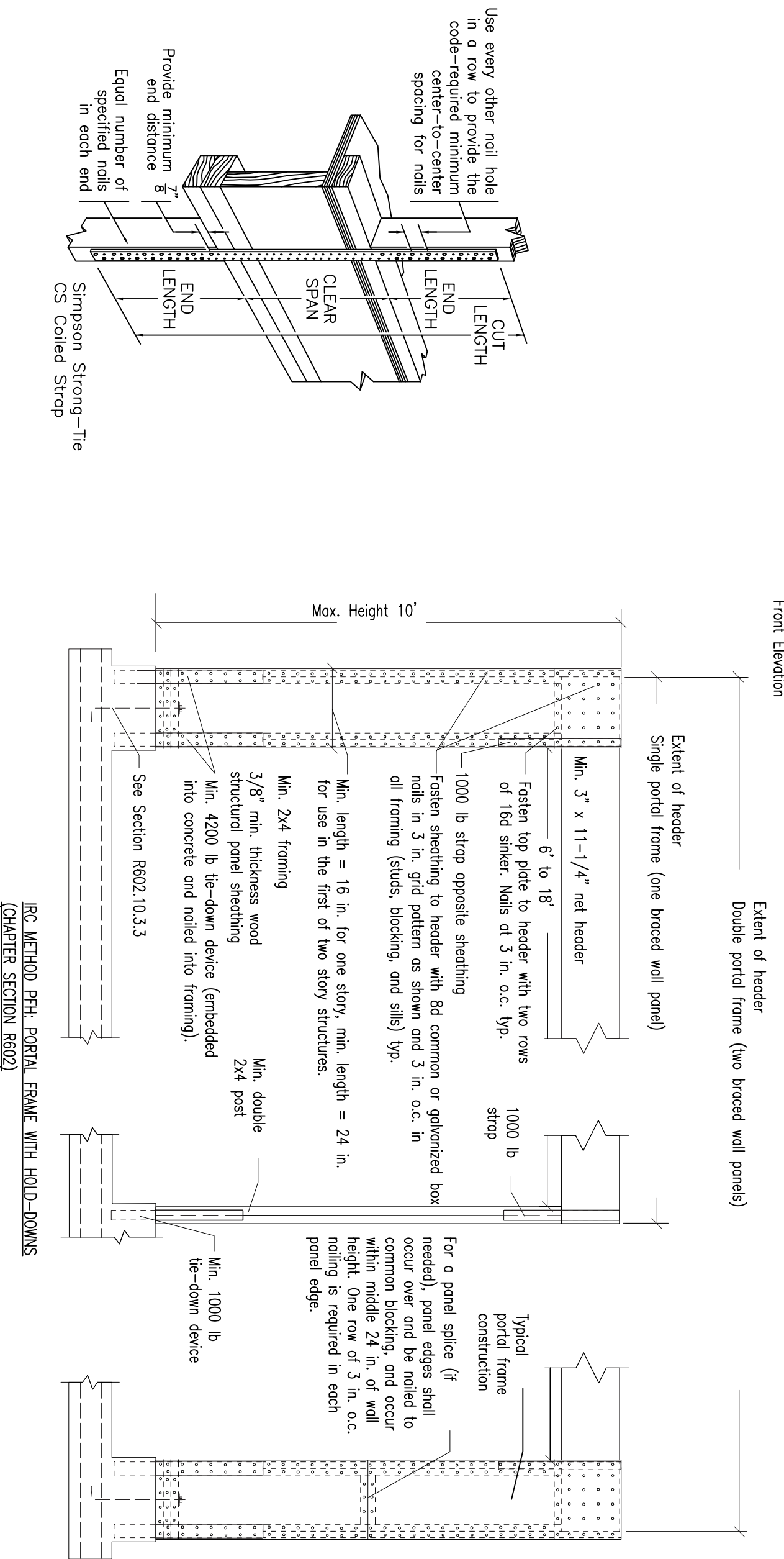
STRUCTURAL GENERAL NOTE
THE NATIONAL LUMBER STAMPED STRUCTURAL DRAWINGS ARE TO SUPERSEDE THE ARCHITECTURAL STRUCTURAL DRAWINGS (A-301 THRU A-304). THE FRAMERS ARE TO HAVE A SET OF THE STAMPED NATIONAL LUMBER STRUCTURAL DRAWINGS FOR FRAMING OF THE STRUCTURE. THE FRAMERS ARE TO FRAME OFF OF THE NATIONAL LUMBER STAMPED STRUCTURAL SET. ALL STAMPED LUMBER DIMENSIONS AND NOTES ARE SET FORTH ON THE NATIONAL LUMBER STAMPED STRUCTURAL SET. ALL DIMENSIONS, SETS, THE NATIONAL LUMBER STAMPED STRUCTURAL SET IS PRECEDENCE FOR FRAMING DIRECTIVE.

- GENERAL NOTES
1. FRAMING PLAN IS CONCEPTUAL. ALL MEMBERS, FASTENERS, AND MATERIALS ARE TO BE REVIEWED BY LUMBER YARD STRUCTURAL ENGINEER. LUMBER YARD STRUCTURAL ENGINEER SHALL REVIEW AND SIGN OFF UPON REVIEW. GENERAL CONTRACTOR AND LUMBER YARD STRUCTURAL ENGINEER TO AGREE UPON FRAMING PLAN. THE LUMBER YARD IS TO SUPPLY STAMPED STRUCTURAL PLANS FOR PURPOSE OF SUBMISSION TO BUILD DEPARTMENT ONCE A FINAL LAYOUT IS AGREED UPON.
 2. ALL WALL FRAMING TO BE 2X6 CONSTRUCTION FOR ALL EXTERIOR WALLS AND 2X4 CONSTRUCTION ON ALL INTERIOR WALLS. THE OUTLET EXTERIOR TO THE 2X4 INTERIOR WALL CONSTRUCTION IS TO BE 2X6 WALL BRACKEN UNITS. WALL FRAMING TO BE CORRELATED WITH G.C., FRAMER AND LUMBER YARD STRUCTURAL ENGINEER.
 4. ALL LVS ARE TO BE CONNECTED GLED AND FASTED AS PER LUMBER STRUCTURAL LUMBER STRUCTURAL SET.
 5. ALL HANGERS ARE TO BE SWAPSON STRONG TIE JOIST HANGERS, JOINING PLATES, ETC. REFER TO LUMBER YARD STRUCTURAL ENGINEER PLANS FOR FURTHER INFORMATION.

A-400

PROJECT NAME:
CANDACE & HARRY
AVERY DEVELOPMENT
DUPLEX




PROJECT ADDRESS:
15-17 WABAN AVE.
WORCESTER, MA.
01604



① TYPICAL PORTAL FRAME & HOLDOWN/ STRAP DETAILS

SCALE: NIS

THESE RCID MAINT/ACQUICUTTER DETAILS ARE FOR GENERAL REFERENCE ONLY. ALL DETAILS MAY NOT BE APPLICABLE FOR THIS PROJECT. SEE PLANS AND DETAILS FOR ACTUAL LOCATIONS, LOAD REQUIREMENTS OR MODEL, NUMBERS SPECIFIED FOR THIS PROJECT AND ADDITIONAL INFORMATION. OTHERWISE PROVIDE COMPATIBLE HARDWARE FOR RC LOADS INDICATED. FOLLOW REFERENCED RC GUIDELINES AND INSTAL SIMPSON HARDWARE WITH FASTENERS PER SIMPSON SPECIFICATIONS AND GUIDELINES. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

<p align="center"><u>BRAÇE WALL LEGEND NOTES</u></p>	<p align="center"><i>BW</i></p>  <p align="center"><i>PLYWOOD BRACED WALL - PLYWOOD SHALL BE ON EXTERIOR SIDE OF STUDS FOR EXTERIOR WALLS. INSTALL G.W.B. ON INTERIOR SIDE. BLOCK ALL PLYWOOD AND G.W.B. EDGES. NAIL EDGES @ 6" O.C. FOR PLYWOOD. USE STANDARD G.W.B. SCREWS.</i></p>	<p align="center"><i>CB</i></p>  <p align="center"><i>G.W.B. BRACED WALL - G.W.B. SHEATH BOTH SIDES, BLOCK ALL SHEATHING EDGES, SCREW EDGES AND INTERMEDIATE STUDS @ 6" O.C. USE STANDARD G.W.B. SCREWS.</i></p>	<p align="center"><i>CS</i></p> 	<p>NOTE: SHEATHING MAY BE PLACED VERTICALLY AT DESIGNATED BRACED WALLS TO MINIMIZE OR ELIMINATE BLOCKING - TYP. ALL SHEATHING SHALL BE $\frac{7}{8}$" MINIMUM THICKNESS.</p>
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REVIEWS	TITLE	DATE

DRAWING TITLE:
DETAILS